



LOCALITY PLAN
N.T.S.

General Notes (NCC 2022 BCA Vol 1)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, the National Construction Code Series 2022 Building Code of Australia Volume 1 and all relevant current Australian standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2022 Building Code of Australia Volume 1.
- All materials and construction practice shall meet the Performance Requirements of the Building Code of Australia. Where a performance solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the Building Code of Australia.
- Waterproofing of wet areas to comply with BCA Part F1.7
- All storm water to be taken to the legal point of discharge to the relevant authorities' approval.
- These drawings shall be read in conjunction with all architectural specifications, relevant structural and all other consultants' drawings/details and specifications and with any other written instructions issued in the course of the contract.
- All measurements and levels in millimetres unless noted otherwise.
- Figured dimensions take precedence over scaled dimensions.
- The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures and all essential services to be maintained during all works.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The builder and subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective Supply Authority requirements.
- The builder and subcontractor shall ensure that all storm water drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the client of Grampians i-Design Pty Ltd. ("the Designer") for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Grampians i-Design Pty Ltd except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Grampians i-Design Pty Ltd.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract to implement any variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- Refer to Civil Engineers design and details for all storm water, car parking and driveway construction requirements.

Electrical switchboards located in the path of travel to exits to be enclosed in a metal or other non combustible cabinet with smoke proof doors. Significant switchboards shall be provided with a 5kg carbon dioxide extinguisher or another type of extinguisher with a minimum classification of 1A:E and fitted with a hose complete with extinguisher identification signage and shall be located between 2m and 20m from the significant switchboard.

Fire hazard properties of materials and assemblies to comply with BCA Specification C1.10.

Personnel loading:

Based on sanitary facilities provided per BCA Table. F2.3

- Male Employees 1
- Female Employees 1
- Male Patrons 4
- Female Patrons 4

Authorities List:

- Municipality: Pyrenees Shire Council
- Sewerage authority: Central Highlands Water
- Drainage authority: Pyrenees Shire Council
- Relevant Building Surveyor: Craig Fletcher - MBS
- Relevant Fire Authority: FRV Grampians Region
- Relevant Electrical Supply Authority: Powercor

Project Consultants List:

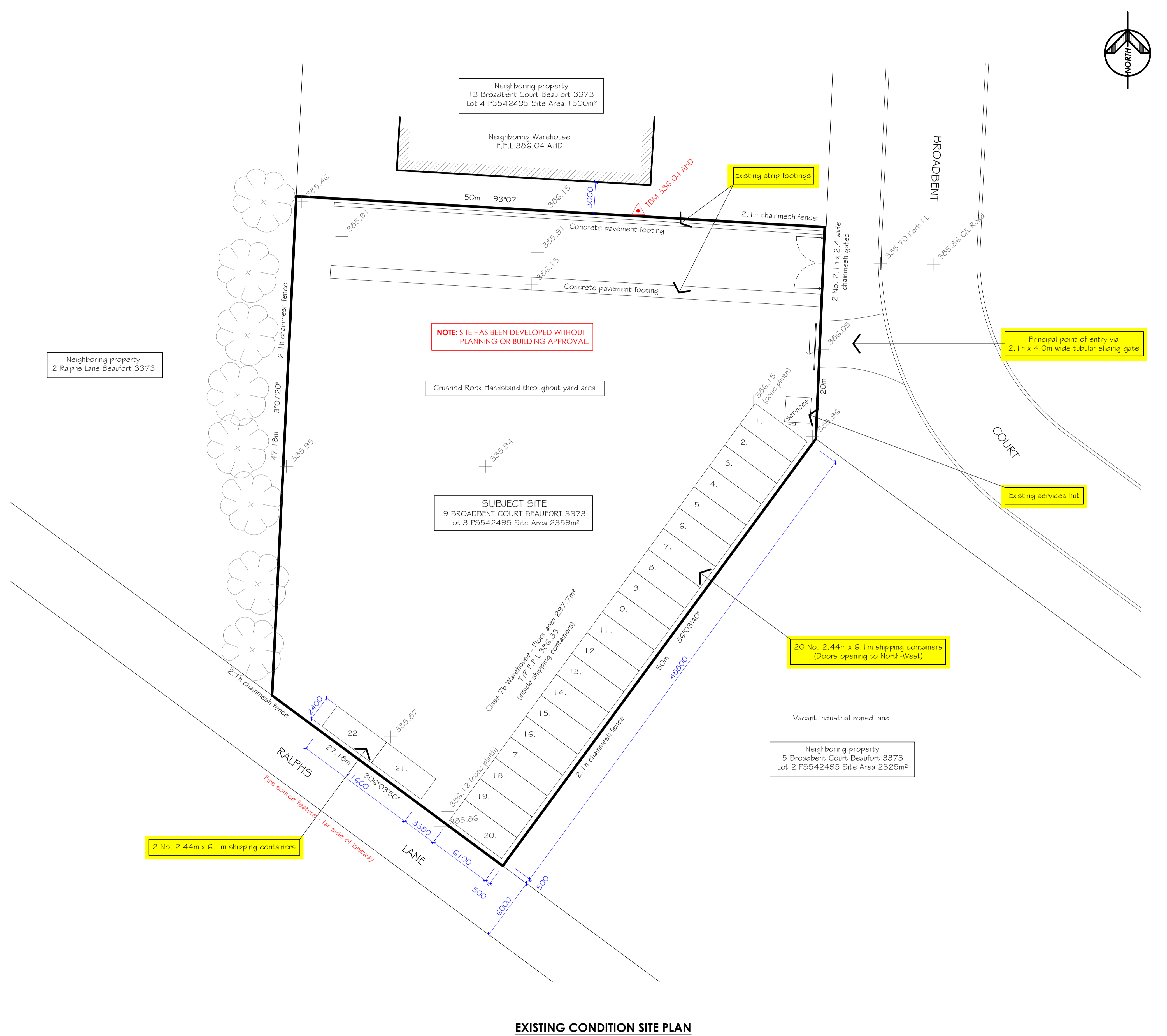
- Consulting Structural Engineer: **TBC**
- Consulting Civil Engineer: **TBC**
- Consulting Geotechnical Engineer **TBC**

Site geotechnical investigation:

- Refer to geotechnical investigation report no: **TBC** By: **TBC**

Planning Permit: Planning Permit No: **TBC** Issue Date: **TBC**

Builder to allow for all works to comply and include all required conditions in accordance with the Planning Permit and shall be responsible for compliance with all Planning Conditions at the completion of works.



EXISTING CONDITION SITE PLAN

1:200

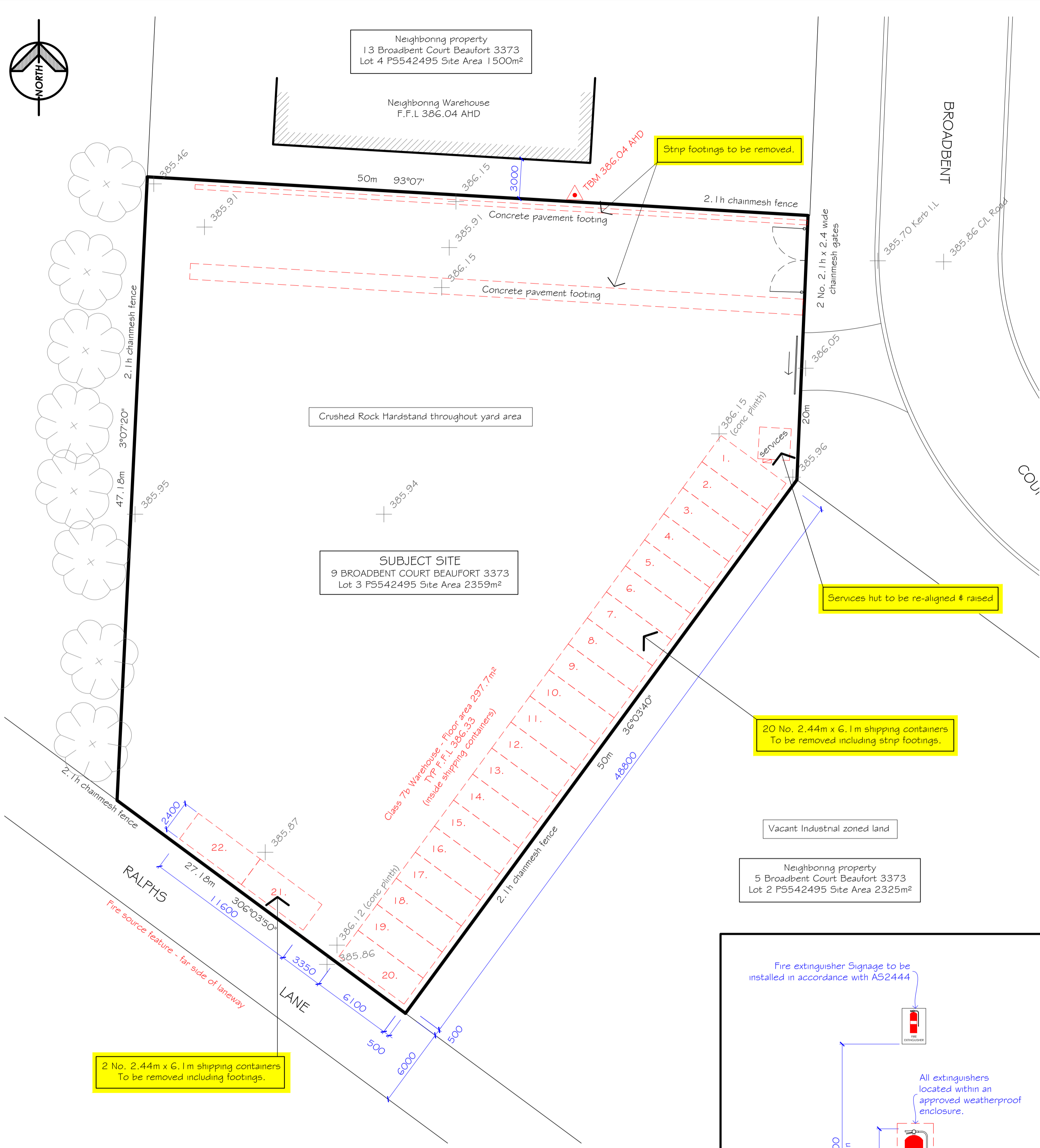
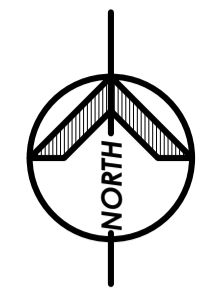
GRAMPIANS I-DESIGN PTY LTD
COMMERCIAL & INDUSTRIAL BUILDING DESIGN CONSULTANTS
P.O. BOX 671 STAWELL, VIC 3380
PHONE: (03) 5356 6159 MOBILE: 0428 567 196
EMAIL: info@grampiansdesign.com.au

REGISTERED Building Practitioner
Design Matters
Member of the Institution of Engineers, Australia

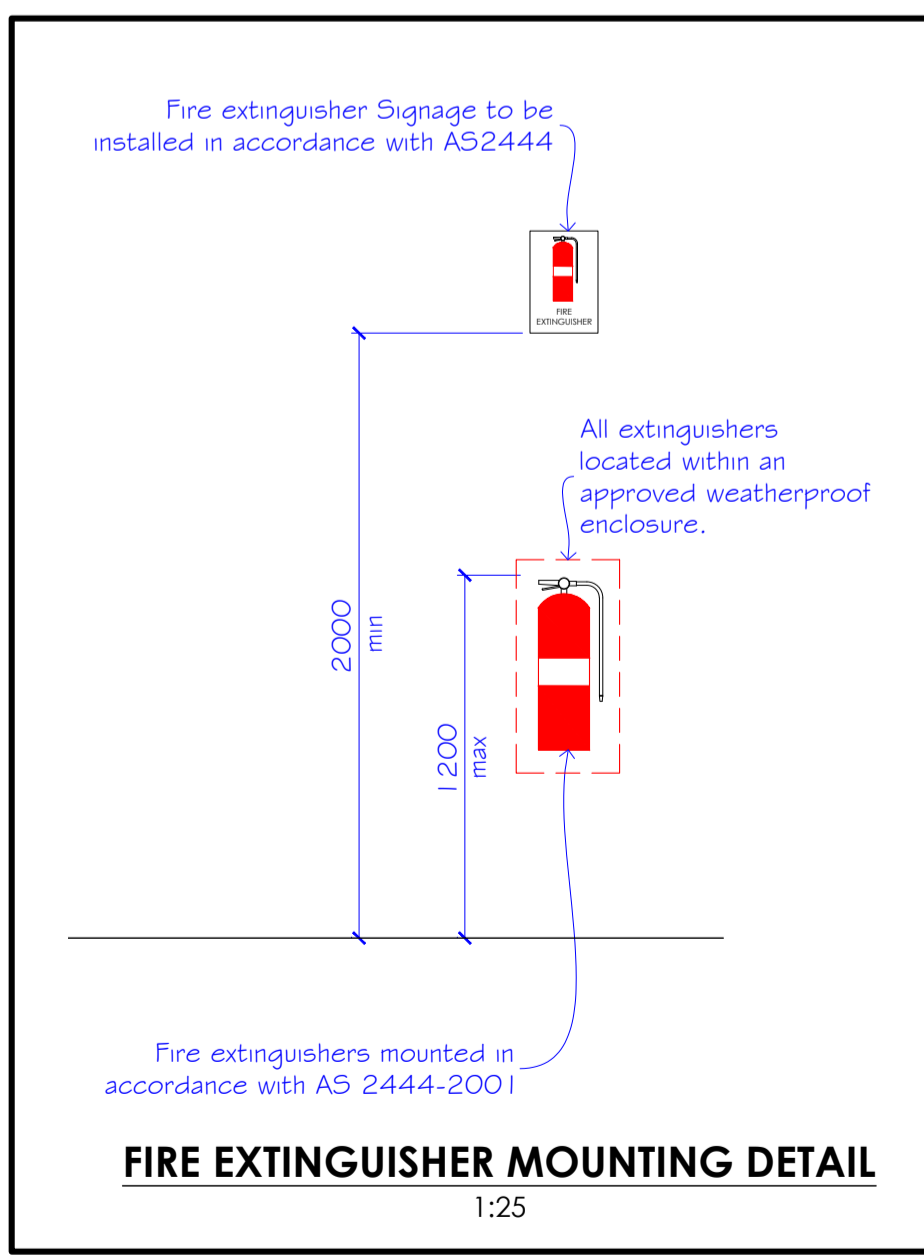
NOTES:

PRELIMINARY
NOT FOR CONSTRUCTION

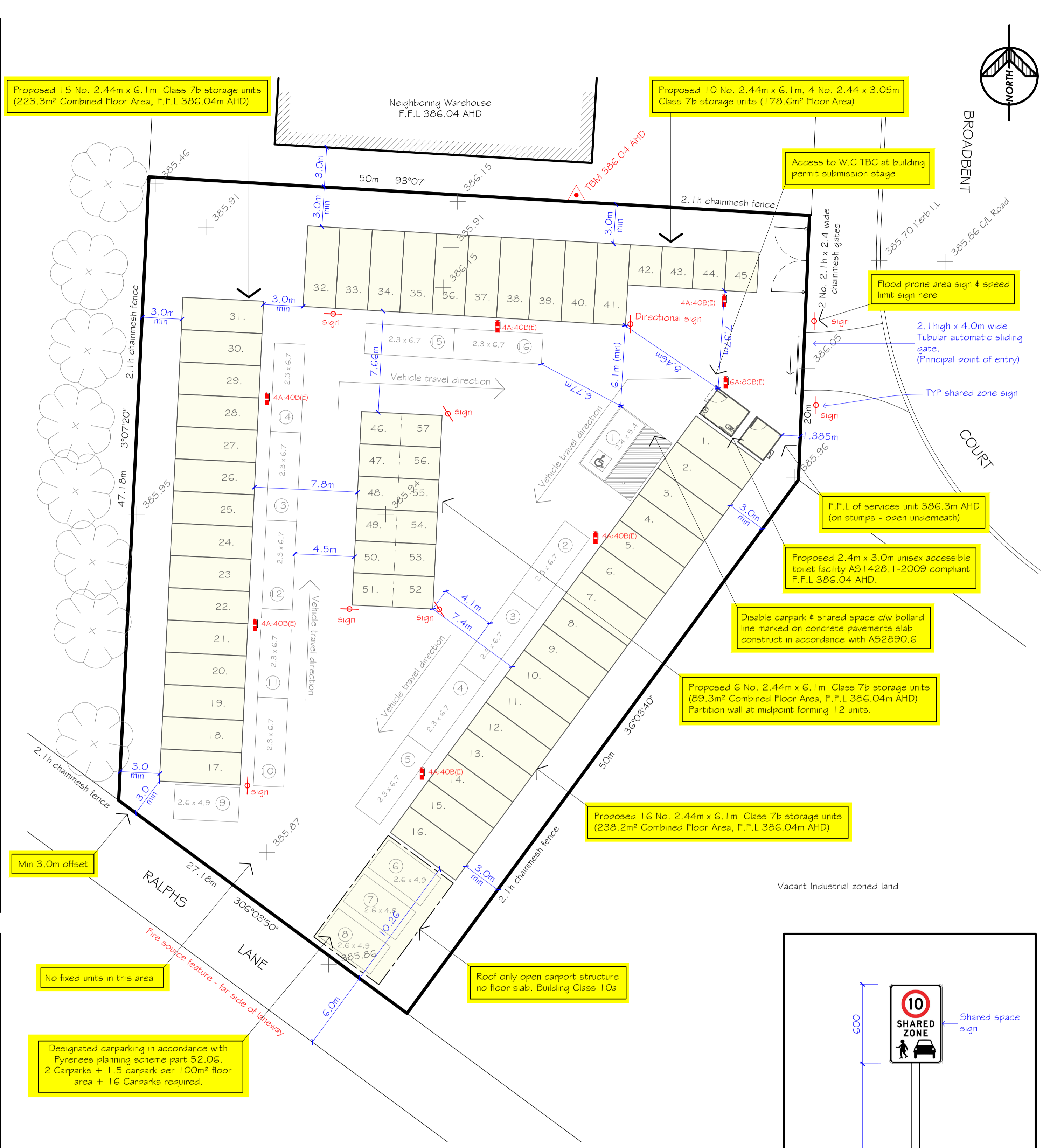
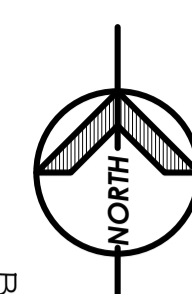
REV NO:	DESCRIPTION:	DATE:	ADDRESS:	DRAWING NO:	DATE:	SCALE:
A	PRELIMINARY	24-10-23	DIAL A BOX	RFID-555	24/10/2023	1:200
B	VERIFY EXISTING CONDITION	28-2-24	P.O. BOX 4066 ALFREDTON VIC 3350	DRAWING NAME: EXISTING CONDITION SITE & LOCALITY PLAN		
PROJECT: PROPOSED SELF STORAGE FACILITY			DRAWN: ROHAN FRY			
LOCATION: 9 BROADBENT COURT BEAUFORT.			SIZE: A1	SHEET: A.O.1	SET REV: F	APPROVED



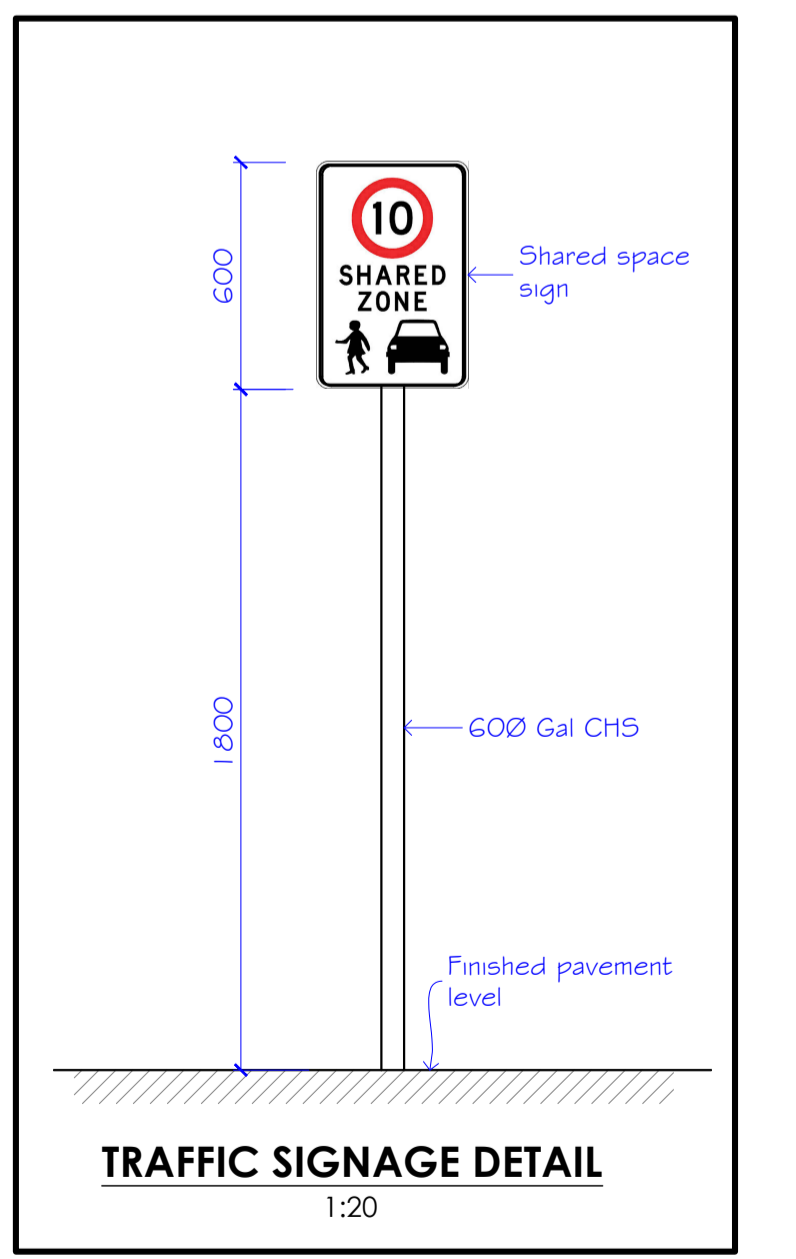
DEMOLITION PLAN
1:200



FIRE EXTINGUISHER MOUNTING DETAIL
1:25



PROPOSED CONDITION SITE PLAN
1:200



TRAFFIC SIGNAGE DETAIL
1:20

PRELIMINARY
NOT FOR CONSTRUCTION

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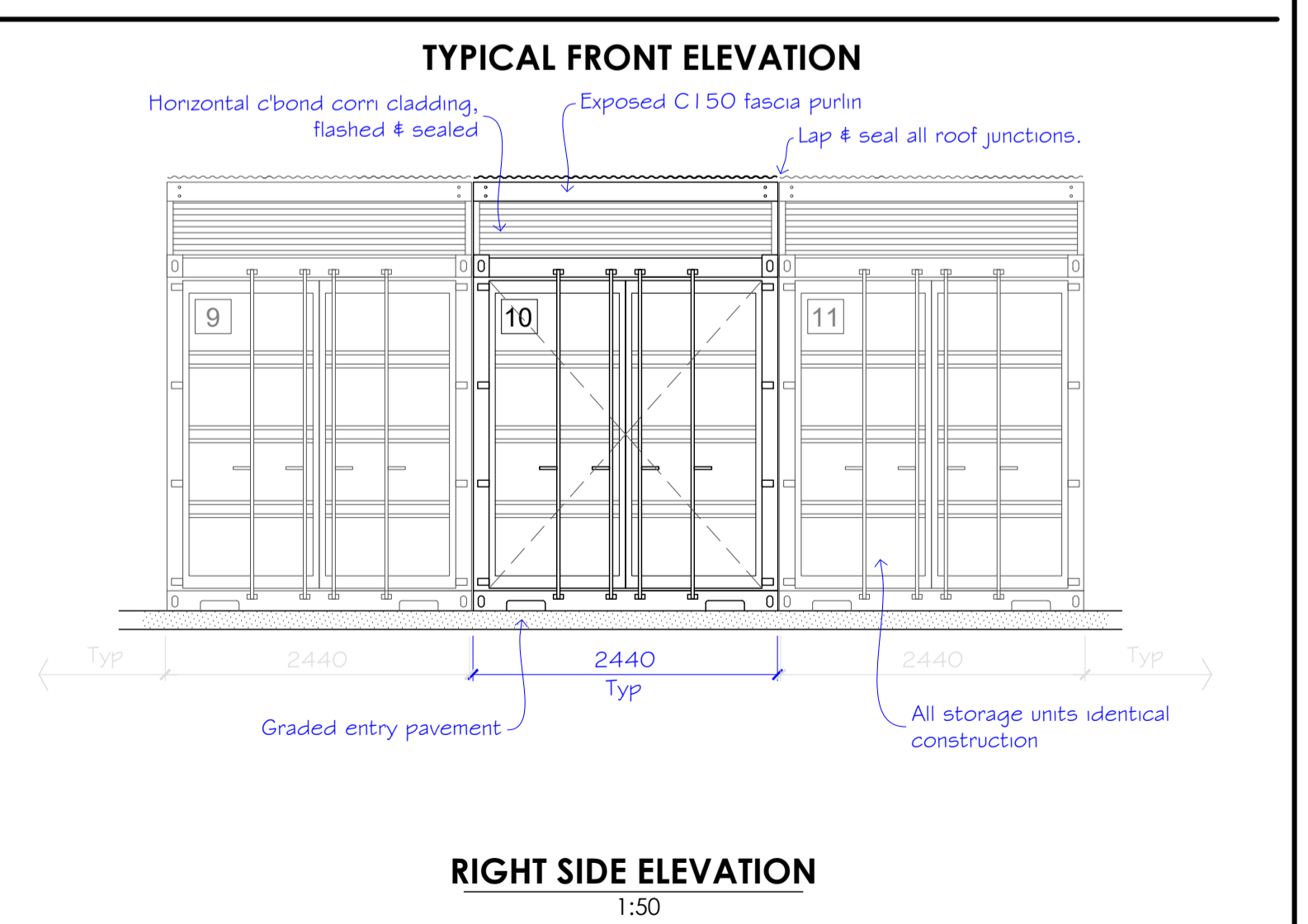
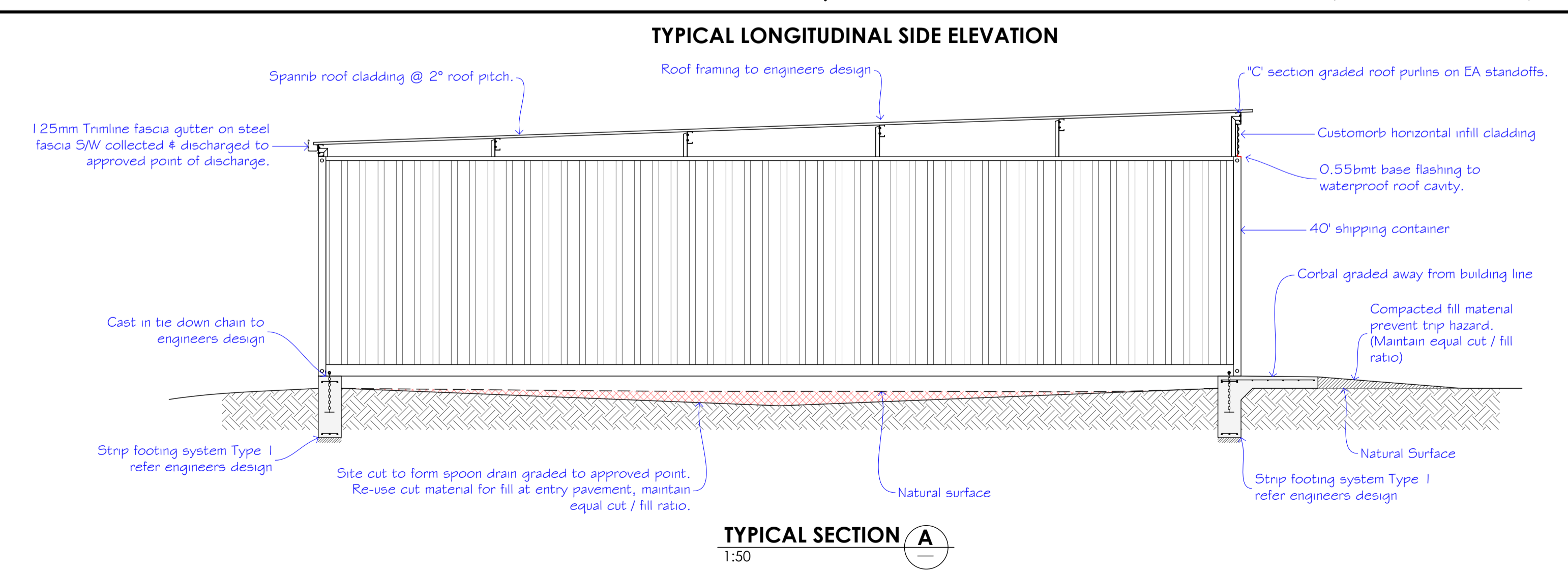
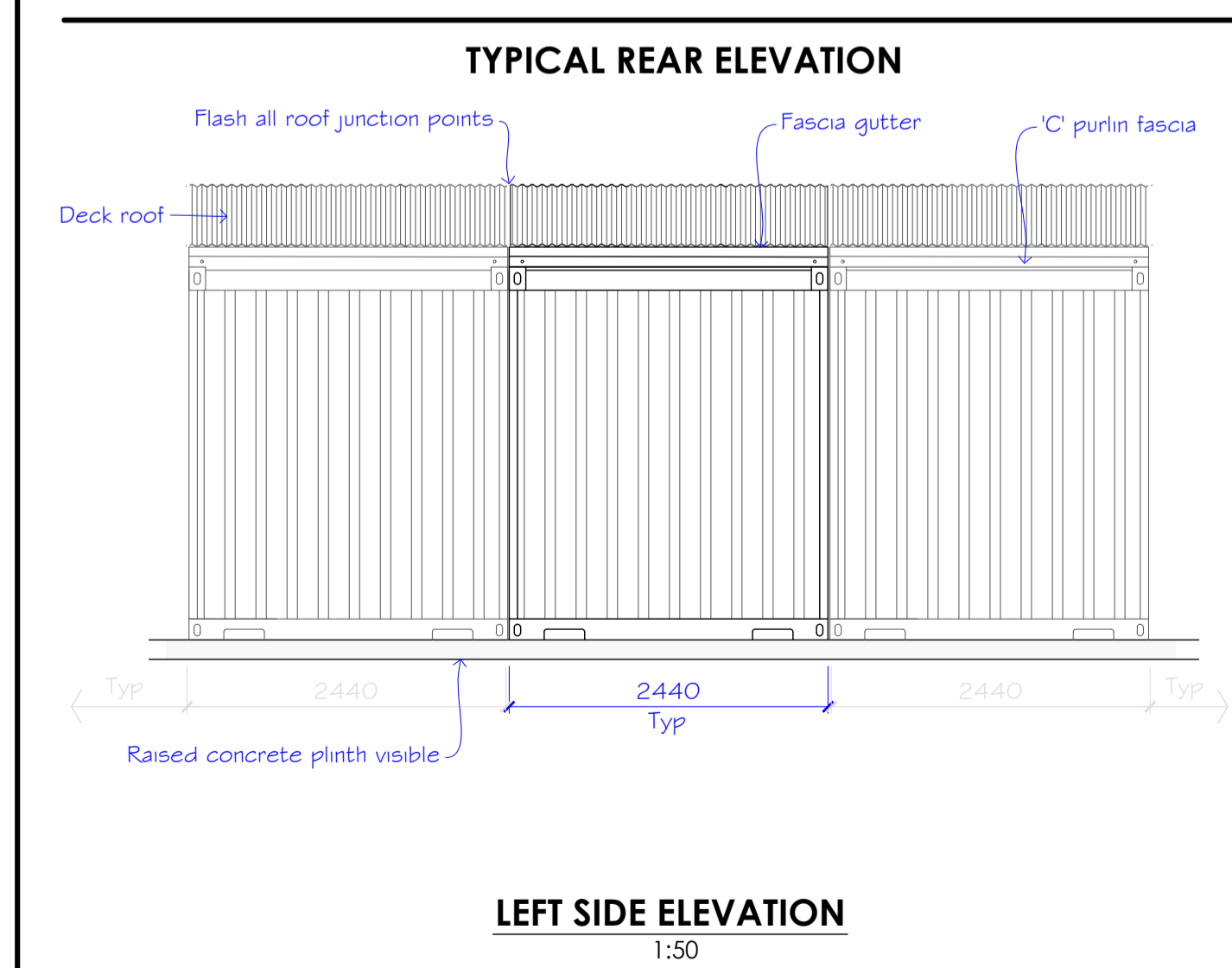
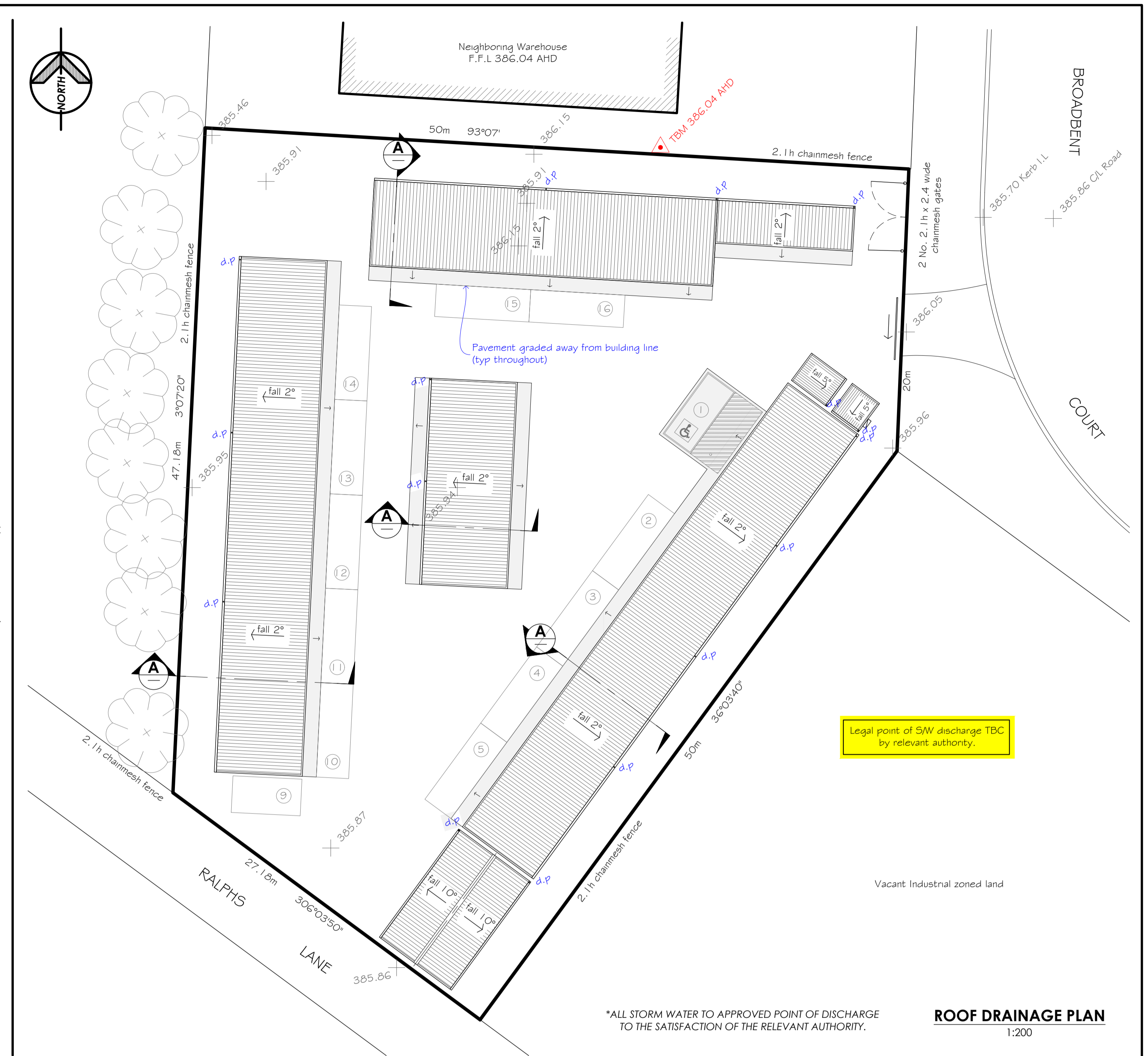
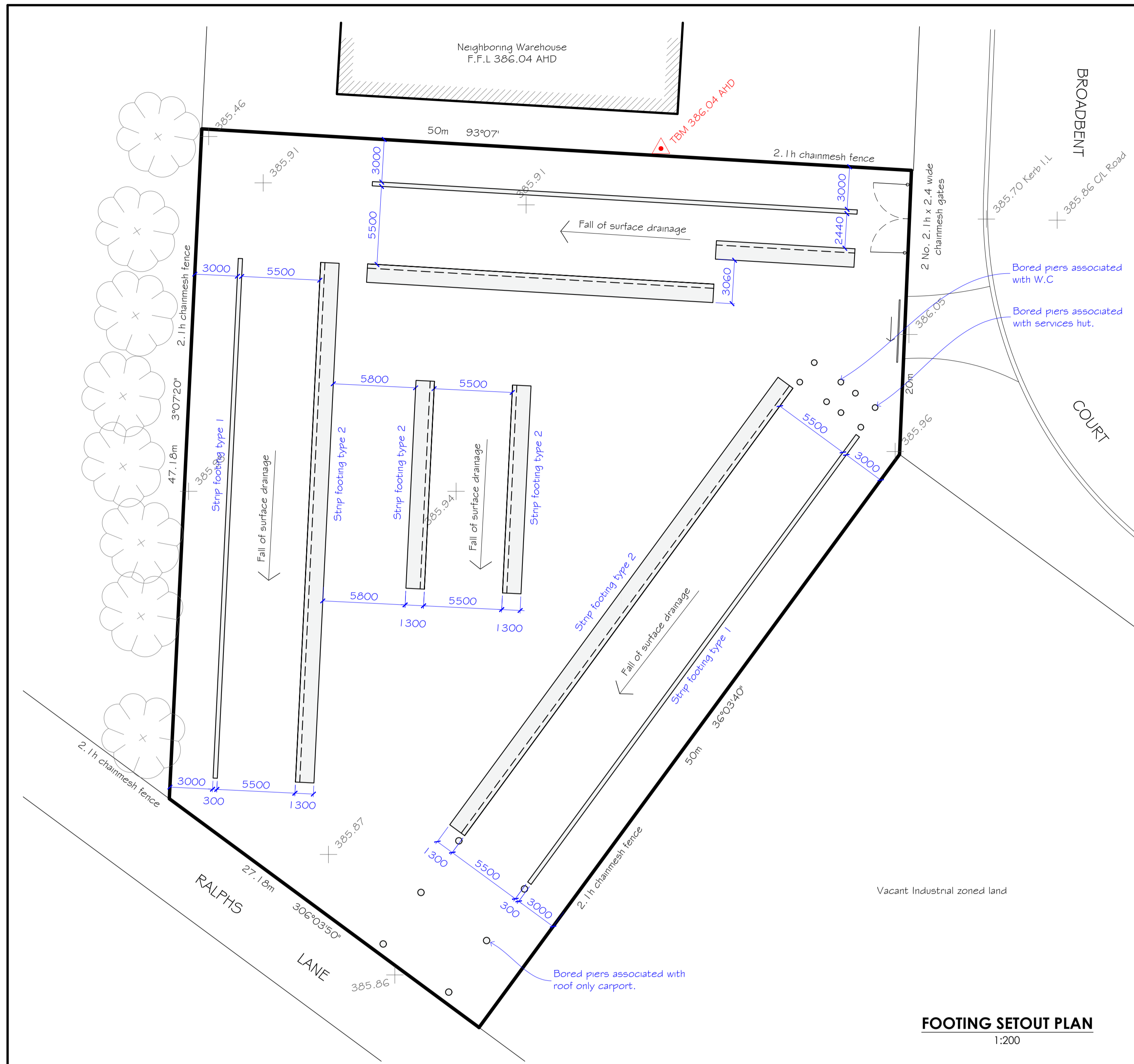
REGISTERED Building Practitioner
Design Matters

NOTES:
THIS PLAN SHALL BE READ IN CONJUNCTION WITH GLENELG HOPKINS CATCHMENT MANAGEMENT AUTHORITY REPORT REF: GHCMA-F-2023-006 I I

REV NO.	DESCRIPTION:	DATE:	REV NO.	DESCRIPTION:	DATE:
A	PRELIMINARY	24-10-23	F	INCLUDE CAR PARKING & SHARED ZONE SIGNAGE	25-9-24
B	SKETCH PLAN OPTION 2	26-10-23			
C	ADDITIONAL 10' X 10' UNITS, BUILDING SECTION	28-10-23			
D	INHERIT CMA RECOMMENDATIONS Ref: GHCMA-F-2023-006 I I	14-11-23			
E	UPDATE UNIT NUMBERING	1-3-24			

PROJECT: PROPOSED SELF STORAGE FACILITY
LOCATION: 9 BROADBENT COURT BEAUFORT, DIAL A BOX
P.O. BOX 4066 ALFREDTON VIC 3350

DRAWING NO: RFD-555	DATE: 24/10/2023	SCALE: 1:200
DRAWING NAME: DEMOLITION & PROPOSED CONDITION PLAN		
DRAWN: ROHAN FRY	SIZE: A1	SHEET: A.02
SET REV: F	APPROVED:	



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REGISTERED Building Practitioner
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NOTES:
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PRELIMINARY
NOT FOR CONSTRUCTION

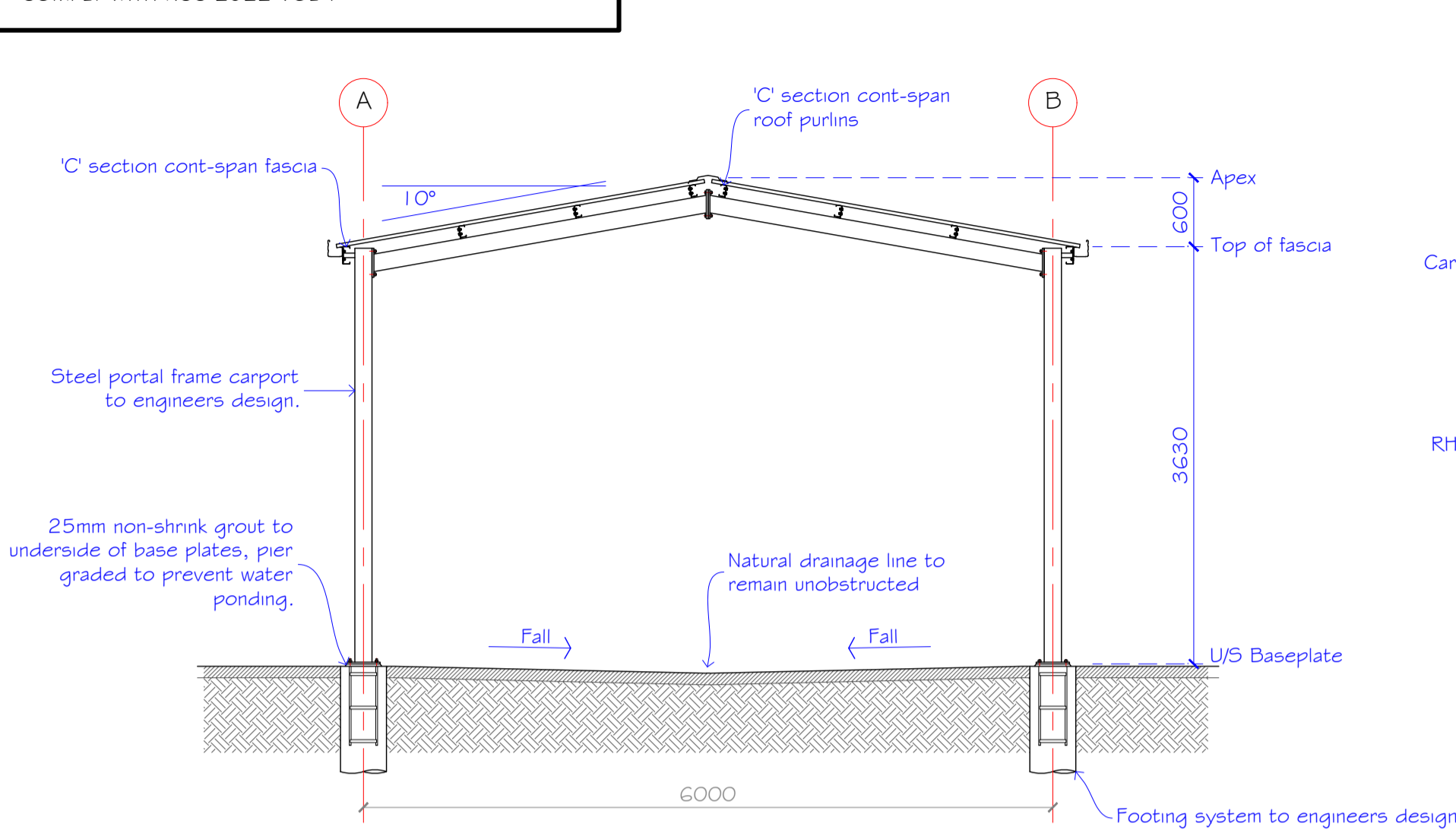
REV NO.	DESCRIPTION:	DATE:
A	PRELIMINARY - NEW LAYOUT	28-2-24
B	UPDATE PAVEMENT & FOOTING SETOUT	1-3-24
C	CARPARK SIGNAGE	25-9-24

DRAWING NO: RFID-555	DATE: 28/02/2024	SCALE: AS SHOWN
DRAWING NAME: FOOTING SETOUT, ROOF DRAINAGE, ELEVATIONS		
DRAWN: ROHAN FRY	SIZE: A1	SHEET: A.03
SET REV: F	APPROVED:	

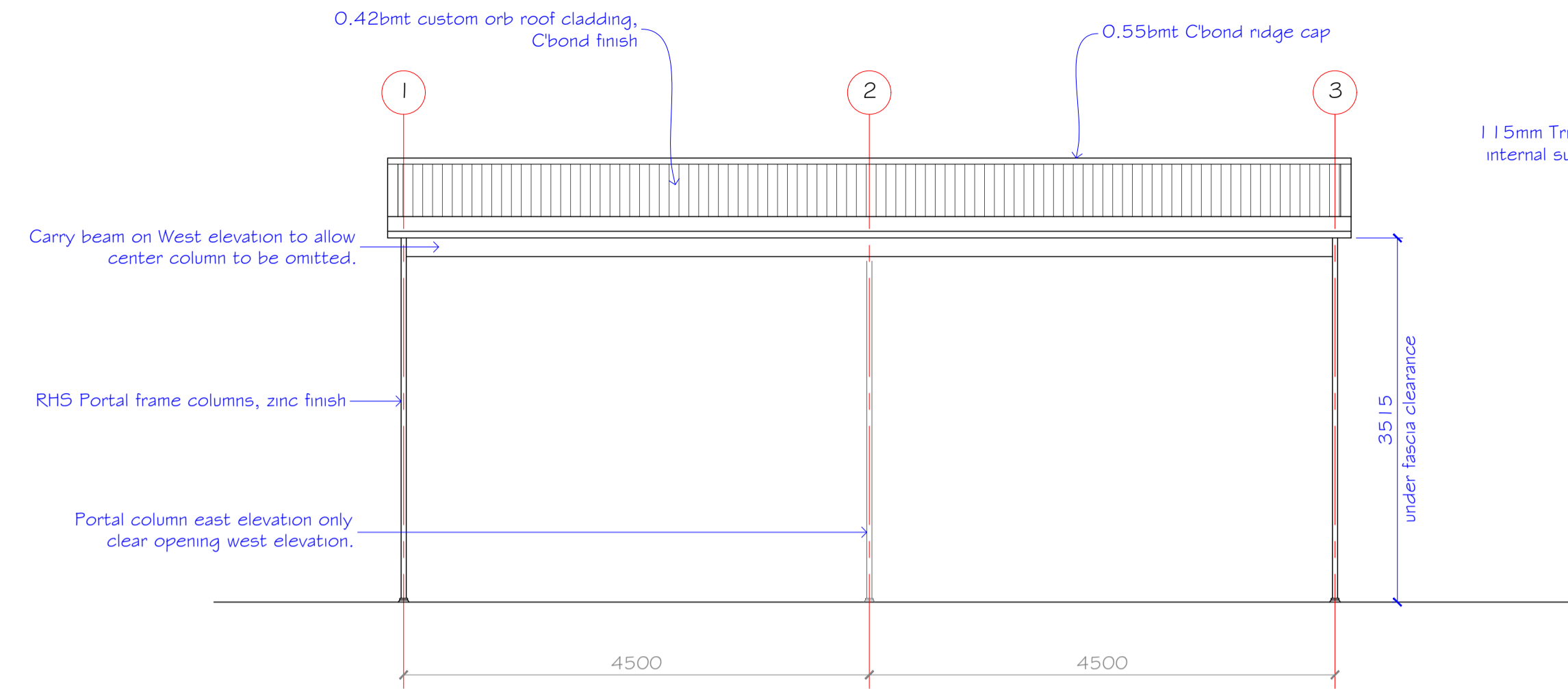
PROJECT:
PROPOSED SELF STORAGE FACILITY
LOCATION:
9 BROADBENT COURT BEAUFORT.

NOTE:
SHED MANUFACTURER SHALL PROVIDE STRUCTURAL PLANS, COMPUTATIONS & R I 2G CERTIFICATION AT BUILDING PERMIT SUBMISSION STAGE - BUILDING TO COMPLY WITH NCC 2022 VOL 1

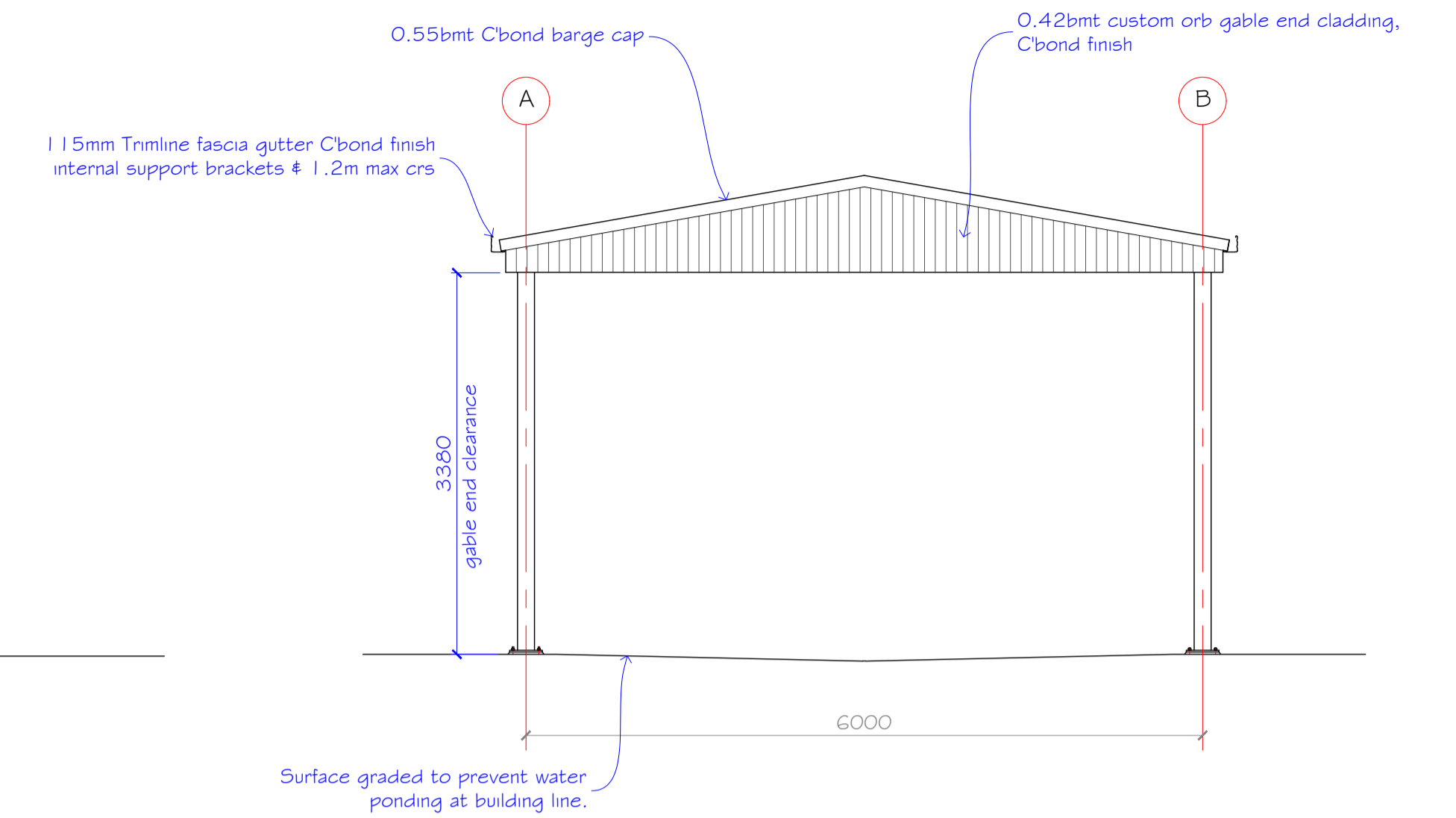
PROPOSED ROOF ONLY CARPORT



TYPICAL SECTION
1:50

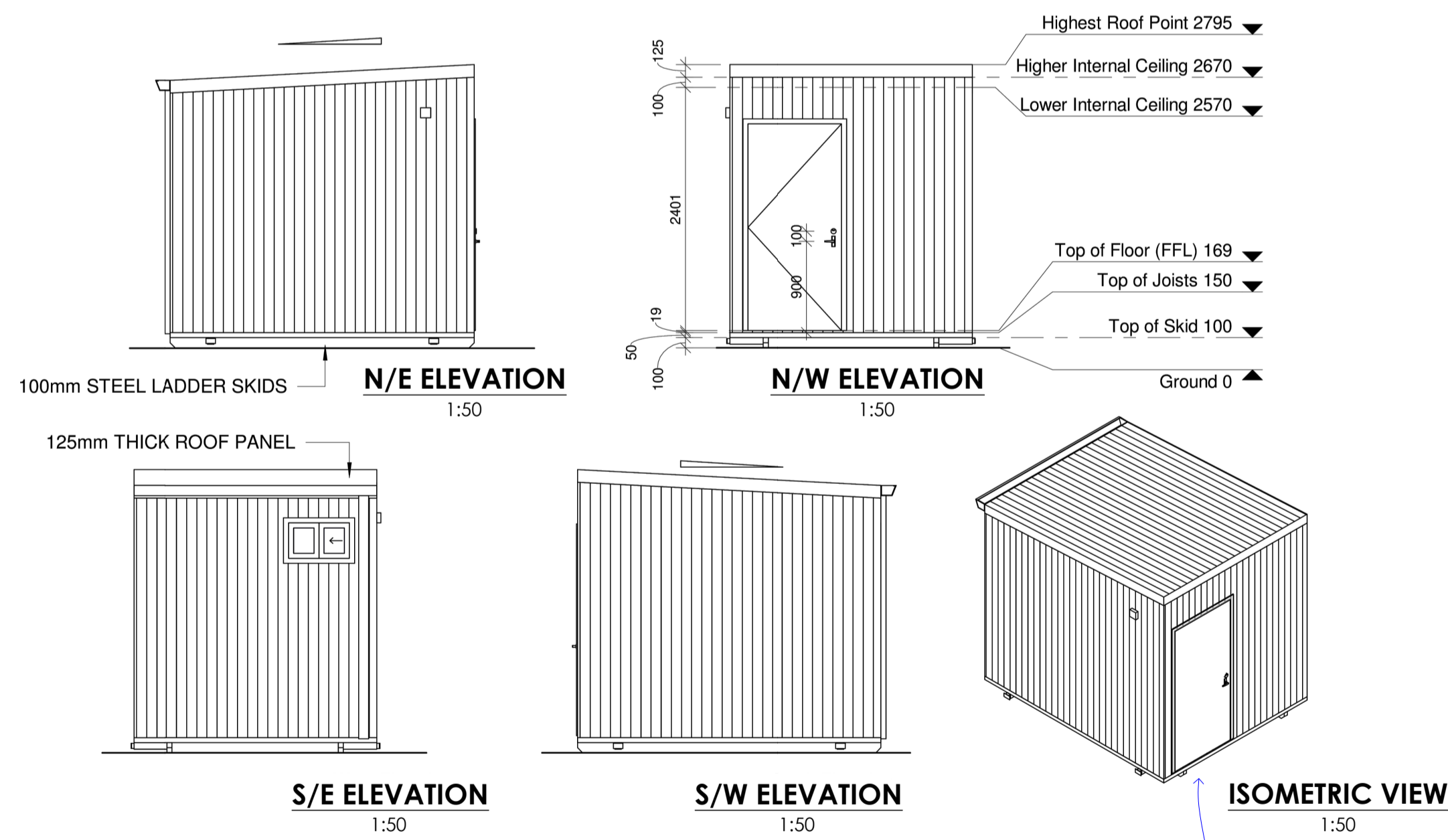


TYPICAL N/W & S/E ELEVATION
1:50

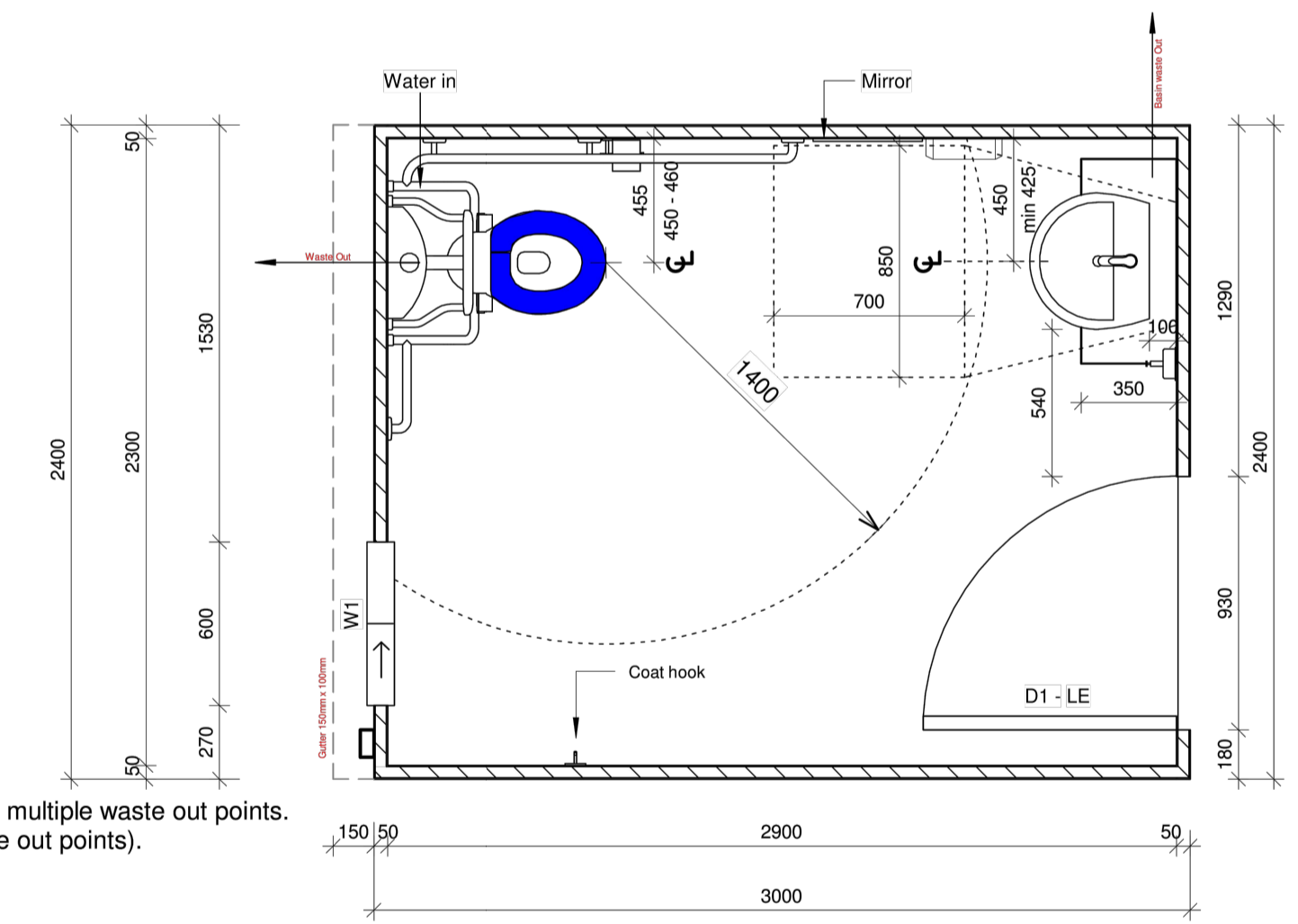


TYPICAL N/E & S/W ELEVATION
1:50

PROPOSED UNISEX DISABLE ACCESSIBLE TOILET



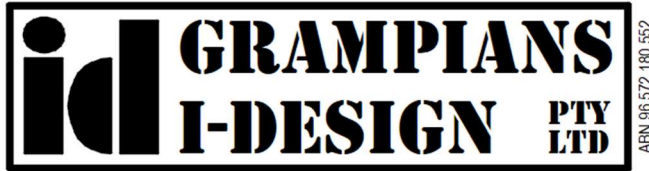
**UNISEX DDA TOILET
(ECO BUILD)
3.0m x 2.4m**



FLOOR PLAN
1:25

- Notes:
- Steel skids are 100mm high with exposed pipes and multiple waste out points. (Alternative: 300mm steel ladder skids with one waste out points).
 - Subfloor is 19mm RFlor.
 - Floor covering is safe.t vinyl.
 - External walls are 50mm thick.
 - Roof panels are 125mm thick.
 - External colour of walls, roof & windows is surfmist.
 - D1: EPS-FR panel door - 930W x 2040H with lever set and indicator bolt with woodland grey trim.
 - W1: Sliding window - 350H x 600W with low e glass.
 - Please refer to quotation for building specifications.
 - If an item is neither noted or quoted, it has not been included.

NOTE:
PORTABLE BUILDING MANUFACTURER SHALL PROVIDE STRUCTURAL PLANS, COMPUTATIONS & R I 2G CERTIFICATION AT BUILDING PERMIT SUBMISSION STAGE - BUILDING TO COMPLY WITH NCC 2022 VOL 1



COMMERCIAL & INDUSTRIAL BUILDING DESIGN
CONSULTANTS

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Pyrenees Shire Council
Att: Planning Department
5 Lawrence Street Beaufort 3373

27th August 2024

RE – Planning Permit Application, Lot 3 9 Broadbent Court Beaufort Vic 3373

To Whom it may concern,

Please find the attached planning application relating to construction of a proposed 802m² combined floor area self-storage facility as illustrated within Grampians i-Design Architectural plans Ref RFID-555 Drg Sheets A.01 – A.04.

The subject site Lot 3 9 Broadbent Court Beaufort had been partially developed for use as self-storage facility; at the time of development both planning & building approvals had not been sought hence Pyrenees Council have issued enforcement notices for works to cease & show cause on how the development can be brought into compliance with current regulations. The proposal outlined in this application is for temporary removal of existing storage units, removal of non-engineered footings, re-development of the site for use as self-storage facility including installation of engineer design footing system, engineer design roof drainage system, installation of 57 storage units, construction of roof only carport, installation of pre-fabricated disable accessible toilet facility, installation of hardstand areas, construction of carparking areas & associated signage, installation of services hut.

The subject site falls within industrial zone 1 (IN1Z) and is impacted by Floodway Overlay (FO) & Land subject to inundation overlay (LSIO), the site is located within a bushfire prone area. Advice has been sought from CMA and a supportive technical report has been provided which accompanies this application, the proposed site setout & building design methods applied within architectural plans RFID-555 compliment CMA requirements & provide a buildable outcome.

The proposed land use as self-storage facility includes leasing of individual storage units to unrelated persons, the facility provides short & long term lease options as well as varying dimension storage units to cater for a wide variety of needs. The self-storage compound is fully secure via means of chainmesh perimeter fence, coded entry gate, individual locked storage compartments, remote monitored security alarm & CCTV system. Based on similar facilities currently in operation it is anticipated light vehicle traffic movements will be in the order of 5-8 movements per day. Access to the site is available 7 days per week between the hours of 6.00am – 9.00pm, no customer access is permitted outside of these hours. The maximum onsite staff level at any given time would not exceed two persons which includes administration & maintenance activities. During development stage the yard area will be re-consolidated & surfaced with mechanically compacted bluemetal to provide drivable all weather hardstand surface, the yard area will be rigorously maintained to ensure the surface remains self-draining in accordance with CMA requirement's, any weeds will be sprayed, pot holes & low lying areas will be constantly monitored & maintained to prevent water ponding.

The proposed land use will not produce any offensive smoke, odour, dust, or fumes. Rubbish & recycling material removal is the responsibility of the individual tenants and shall not accumulate on site; rubbish & recycling generated by staff activities will be managed via council's kerbside removal system. The industrial zoned site location & proposed storage units located around the property perimeter will attenuate any minor vehicle noise that may occur, security lighting will be baffled to prevent light spill or glare to neighbouring properties.

I believe the proposal put forward well compliments the industrial zoned area and provides a much needed service for Beaufort & outlying areas.

Feel free to call or e-mail if any further clarification is required.

Yours Sincerely

A handwritten signature in blue ink, appearing to read 'Rohan Fry', with a stylized flourish at the end.

Rohan Fry
DP-AD 26583



20 November 2023

Rohan Fry
Grampians i-Design Pty Ltd
P.O. Box 671
Stawell Vic 3380

rohan@grampiansidesign.com.au

Dear Rohan,

CMA Reference:	GHCMA-F-2023-00780 (master ref: GHCMA-F-2023-00611)
Property Address:	9 Broadbent Court Beaufort Vic 3373
Cadastral:	Lot 3 PS542495, Parish of Beaufort
Zone(s):	Industrial 1 Zone
Overlay(s):	Floodway Overlay, Land Subject to Inundation Overlay

Thank you for your application which we received on 29 October 2023.

If a planning permit application is referred to the CMA for this development then the CMA could recommend that a permit be granted subject to (but not necessarily limited to) the following conditions.

1. Signage shall be erected at the gateway to the facility clearly stating that the facility is located on flood-prone land.
2. The floor level of all shipping containers shall be 386.04 metres AHD and no higher than 386.08 metres AHD.
3. All shipping containers shall be securely fastened to concrete footings to prevent floatation and movement of containers during a flood.
4. Provision shall be made for the free passage of floodwater beneath shipping containers and between strip footings.
5. A minimum offset of 3 metres shall be provided between all shipping container strip footings, all shipping containers and the Northern and Western property boundaries.
6. A minimum offset of 3 metres shall be provided between all shipping container strip footings and all shipping containers and the boundary with 5 Broadbent Court.
7. A minimum offset of 3m shall be provided between the southwest corner of the shipping container at the end of the row on the western boundary, and the property boundary at Ralphs Lane.
8. The gap between the Ralphs Lane boundary and the southern end of the row of containers aligned parallel to the boundary with 5 Broadbent Court shall be no less than 10 metres.



9. No shipping containers or any other obstructions to flood water movement will be located on the Ralphs Lane property boundary between the southern end of the row of containers on the western boundary and the row of containers on the boundary with 5 Broadbent Court.
10. The area between the southern end of the shipping container row aligned parallel to the boundary with 5 Broadbent Court, and the Ralphs Lane boundary shall remain open, with no obstruction to the free passage of floodwater. Construction of a carport-like structure that is open on all sides is acceptable in this location.
11. The services unit shall be raised on stumps with a floor finished no lower than 386.3m AHD.
12. The below-floor structure of the services unit shall remain open to provide for the free passage of flood water beneath the building.
13. No fill shall be introduced to the land within the property and there shall be no raising of ground level within the property boundary with the exception of the approved strip footings and associated batter slopes.

The table below summarises the available flood data for this property.

Flood Information Summary

Item	Best Available Information
10% AEP flood level	385.96 m AHD
5% AEP flood level	385.98 m AHD
2% AEP flood level	385.99 m AHD
1% AEP flood level	386.02 m AHD
Minimum depth of flooding on site – 1% AEP	0.09m
Maximum depth of flooding on site – 1% AEP	0.42m
Property Hazard category – 1% AEP	Low to Medium
Maximum depth of flooding on access – 1% AEP	0.4m
Access Hazard category – 1% AEP	Low to Medium

This location is within the floodplain of Cumberland Creek. The worst recorded flood to affect the property occurred in 2011.

The CMA's estimate of the 1% AEP flood level for this property is 386.02 metres AHD. This level comes from the 2012 Beaufort Flood Study accounting for flood mitigation works. During 1% AEP floods the entire property would be subject to inundation by Cumberland Creek as indicated by the blue shading on the attached plan.

The proposed use & development of the site can be supported subject to design & implementation of the layout of strip footings and the associated shipping containers so that:



- floodwater conveyance across the site is maintained, and
- the potential for worsened flood levels over neighbouring property arising from disrupted floodwater conveyance is minimised.

Contact us on 03 5571 2526 should you have any queries. Please quote master ref **GHCMA-F-2023-00611** to assist the CMA in handling your enquiry.

Yours sincerely,

Peter Robertson
Waterway Planning Manager

Figure 1. Showing estimated 1%AEP flood extent and depth with proposed shipping container positions (pink boxes) overlaying existing site including the existing shipping container row.





The information contained in this correspondence is subject to the disclaimers and definitions below.

Definitions and Disclaimers

1. The area referred to in this letter as the 'property' is the land parcel(s) that, according to the CMA's assessment, most closely represent(s) the location identified by the applicant. The identification of the 'property' on the CMA's GIS has been done in good faith and in accordance with the information given to the CMA by the applicant(s) and/or relevant local government authority.
2. While every endeavour has been made by the CMA to identify the proposed development location on its GIS using VicMap Parcel and Address data, the CMA accepts no responsibility for or makes no warranty with regard to the accuracy or naming of this proposed development location according to its official land title description.
3. No warranty is made as to the accuracy or liability of any studies, estimates, calculations, opinions, conclusions, recommendations (which may change without notice) or other information contained in this letter and, to the maximum extent permitted by law, the CMA disclaims all liability and responsibility for any direct or indirect loss or damage which may be suffered by any recipient or other person through relying on anything contained in or omitted from this letter.
4. This letter has been prepared for the sole use by the party to whom it is addressed and no responsibility is accepted by the CMA with regard to any third party use of the whole or of any part of its contents. Neither the whole nor any part of this letter or any reference thereto may be included in any document, circular or statement without the CMA's written approval of the form and context in which it would appear.
5. The flood information provided represents the best estimates based on current available information. This information is subject to change as new information becomes available and as further studies are carried out.
6. The information contained in this letter is valid for three (3) months from date of issue and should not be relied upon for planning purposes beyond this timeframe.
7. **AEP** refers to the Annual Exceedance Probability. AEP is a measure of the likelihood of a certain event happening in any given year expressed as a percentage (%) risk.
8. **1% AEP Flood** – A flood of this magnitude has a 1% chance of occurring in any given year. The 1% AEP flood is the minimum standard for land use and development planning decisions in Victoria, also known as the design flood.
9. **PMF** refers to Probable Maximum Flood, which is the largest flood theoretically possible for a location.
10. **AHD** - Australian Height Datum is the adopted national height datum that generally relates to height above mean sea level. Elevation is in metres.
11. **Freeboard** is a height allowance above a flood level to provide additional protection from flood impacts. In the context of planning for development of flood-prone land, freeboard is applied to ensure floors are finished at a level above the estimated flood level. This lowers the risk of over-floor flooding due to floods bigger than the 1% AEP event and due to uncertainties in estimation of the planned for flood level. Uncertainties include factors such as the effect of waves caused by wind or the effect of vehicles moving through a flooded area, or the impact of rising mean sea level.
12. **Nominal Flood Protection Level (NFPL)** is the 1% AEP flood level plus a freeboard (height) allowance to provide increased protection against flooding. It is generally the minimum floor level for habitable spaces and the level below which no electrical outlets or sewer openings are permitted.

Existing condition site photographs 24-10-2023



AHD Temporary benchmark on North Title Boundary
F.F.L Noted for neighbouring development.



View looking South – East Existing Shipping containers.



View Looking along North Titla boundary.
Recently installed footings currently unused, natural surface graded to drainage line.



Neighbouring development currently under construction, AHD temporary benchmark visible between fence posts.



View looking South, white containers not on plinths.



Imaged Document Cover Sheet

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Document Identification	PS542495U
Number of Pages (excluding this cover sheet)	3
Document Assembled	24/10/2023 06:17

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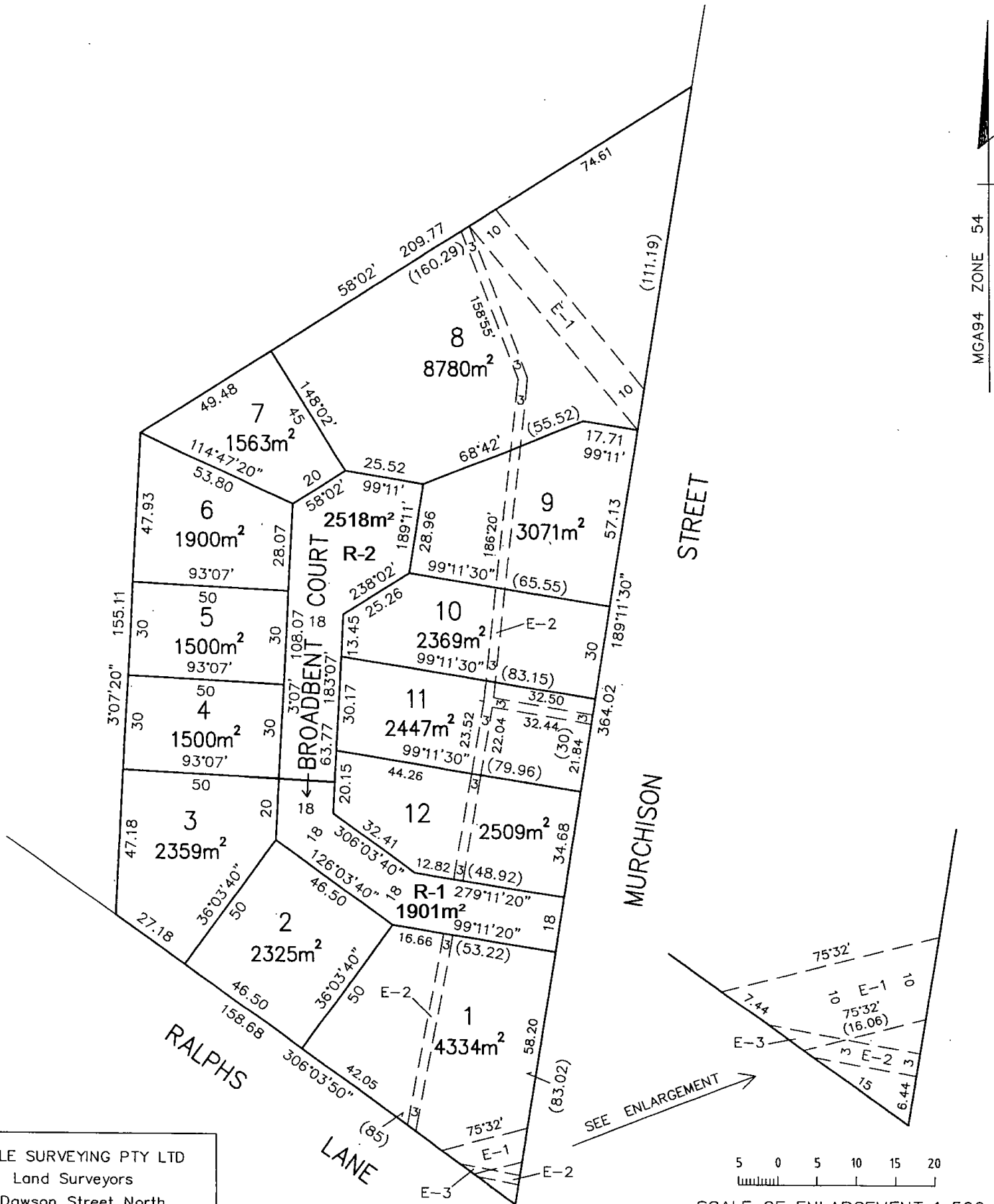
PLAN OF SUBDIVISION				Stage No.	LR use only EDITION 2	Plan Number PS542495U
Location of Land			Council Certification and Endorsement			
Parish: BEAUFORT Township: BEAUFORT Section: 66 Crown Allotment: 28, 29 & 2004 Crown Portion: —			Council Name: PYRENEES SHIRE COUNCIL Ref: 514017610 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 28 / 3 / 06 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. Open Space (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage Council Delegate Council seal Date / /			
Title References: VOL.4340 FOL.856 & VOL.10907 FOL.117 Last Plan Reference: TP350718H & TP835609L Postal Address: MURCHISON STREET BEAUFORT 3373 AMG Co-ordinates E 711 650 Zone 54 N 5 854 620			Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date 18 / 4 / 06			
Vesting of Roads or Reserves						
Identifier	Council/Body/Person					
ROAD R 1	PYRENEES SHIRE COUNCIL					
ROAD R 2	PYRENEES SHIRE COUNCIL					
Notations						
Staging		This is a staged subdivision Planning Permit No. 973/04 PYRENEES SHIRE COUNCIL				
Depth Limitation:		15.24m APPLIES TO CROWN ALLOTMENTS 28 & 29 15m APPLIES TO CROWN ALLOTMENT 2004				
Survey:- This plan is based on survey. This survey has been connected to permanent marks no(s) 2, 7, 27 & 31 In Proclaimed Survey Area no. 72						
Easement Information					LR use only	
Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement A - Appurtenant Easement R - Encumbering Easement (Road)					Statement of Compliance / Exemption Statement Received <input checked="" type="checkbox"/> Date 20 / 6 / 06	
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
E-1 & E-3	DRAINAGE	SEE DIAG.	THIS PLAN	PYRENEES SHIRE COUNCIL		
E-2 & E-3	PIPELINES OR ANCILLARY PURPOSES	SEE DIAG.	THIS PLAN, SEC.136 WATER ACT 1989	CENTRAL HIGHLANDS REGION WATER AUTHORITY		
THIS IS AN LR COMPILED PLAN						
FOR DETAILS SEE MODIFICATION TABLE HEREIN						
Sheet 1 of 2 Sheets						
STEELE SURVEYING PTY LTD Land Surveyors 6 Dawson Street North Ballarat 3350 Phone (03) 5333 2699			LICENSED SURVEYOR (PRINT) RICHARD JOHN STEELE SIGNATURE _____ DATE 18 / 4 / 06 REF 1853 VERSION 4		_____ DATE 18 / 4 / 06 COUNCIL DELEGATE SIGNATURE Original sheet size A3	

APPLIES TO MASTER PLAN (STAGE 1) ONLY

PLAN OF SUBDIVISION

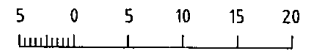
Stage No.

Plan Number
PS542495U



MCA94 ZONE 54

STEELE SURVEYING PTY LTD
Land Surveyors
6 Dawson Street North
Ballarat 3350
Phone (03) 5333 2699



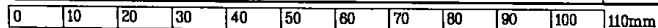
SCALE OF ENLARGEMENT 1:500

Sheet 2 of 2 Sheets

ORIGINAL		SCALE	
SCALE	SHEET SIZE	12.5	0 12.5 25 37.5 50
1:1,250	A3	LENGTHS ARE IN METRES	

LICENSED SURVEYOR (PRINT) RICHARD JOHN STEELE
SIGNATURE _____ DATE / /
REF 1853A VERSION 1

DATE / /
COUNCIL DELEGATE SIGNATURE
Original sheet size A3



**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 10954 FOLIO 099

Security no : 124109987730X
Produced 24/10/2023 06:14 AM

LAND DESCRIPTION

Lot 3 on Plan of Subdivision 542495U.

PARENT TITLES :

Volume 04340 Folio 856 Volume 10907 Folio 117

Created by instrument PS542495U 01/07/2006

REGISTERED PROPRIETOR

Estate Fee Simple



ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS542495U FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 9 BROADBENT COURT BEAUFORT VIC 3373

ADMINISTRATIVE NOTICES

NIL

eCT Control 14826R MULCAHY & CO LEGAL PTY LTD
Effective from 03/12/2021

DOCUMENT END